



1564 Saybrook Rd. | Haddam, CT

Town of Haddam Architectural Review Committee
March 24, 2021



Developer
Elm Tree Partners LLC
123 Elm Street Suite 300
Old Saybrook, CT, 06475
Contact: Jeff Hartmann
jeff@elmtree-partners.com
860.391.0400



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Contact: Paul Monardo
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Corporate Attorney
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Stamford, CT, 06901
Contact: Charles Martin
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March 24, 2021

Town of Haddam
Mr. William Warner, Town Planner
Old Town Hall
21 Field Park Drive
Haddam, CT 06438



Re: Elm Tree Partners LLC
1564 Saybrook Road, 3 Brookes Court, 4 Brookes Court
Haddam, Connecticut

Dear Mr. Warner, Town Planner and the Architectural Review Committee Members:

Elm Tree Partners, LLC is pleased to present a four-building 80-unit development located in the Tylerville Village District of Haddam, Connecticut. We have assembled a talented and experienced multi-family development team lead by our architect, Gary Coursey & Associates. DTC of Hamden, Connecticut is our civil engineer, and ToDesign of New Britain, Connecticut is our landscape engineer. Local attorney Ed Cassella is our land use attorney, and Robinson & Cole serves as our capital markets law firm.

According to the Town Overview 2018, the Tylerville Village District is an ideal location for multi-family housing. It has a mixed-use nature and will continue to be a center for commerce and jobs in Haddam. Therefore, the project represents a unique opportunity to develop a new multi-family apartment building "that will meet the demand of southeastern Connecticut residents seeking to eliminate the burdens of homeownership, millennials who are seeking a rental lifestyle with the latest amenities, and professionals that will commute to Middletown, CT and Hartford, CT.

The project is sited on the vacant 1564 Saybrook Road, 3 Brookes Court, and 4 Brookes Court parcels presently owned by DBP, LLC and will provide 80 market-rate apartments developed by Elm Tree Partners LLC. The project will be developed over two phases with Phase I being 56 units and Phase II consisting of 24 units. Phase I is programmed to start in the summer of 2021 and Phase II is targeted to begin in the fall of 2022. Elm Tree Partners will seek a demolition permit for the existing ranch home and detached garage currently located on 3 Brookes Court.

The project design places four residential buildings throughout the three parcels and provides for a sense of "community". The "clubhouse" will be the community centerpiece, offering our residents a centralized mail and package pickup in a secured environment, an exercise and fitness center, a community meeting room and workspace, and the back porch for resident gathering and socializing.

The buildings with pitched roofs and textured facades are designed to reflect a New England resort look, similar to the iconic Chatham Bars Inn or the Old Harbor Inn in the historic seaside town of Chatham, MA. We believe the design will be in harmony with Haddam's Tylerville design guidelines while creating a new resort-like presence in the Tylerville Village District.

elmtree-partners.com

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The project encompasses two apartment building types, one of 24 units- building A and approximately 31,216 square feet -which is the triple breezeway building- and one of 16 units- building B approximately 16,027 square feet, which is the double breezeway building. There are two of each of these buildings, and both are two stories in height keeping under the maximum building height allowed of 35 feet.

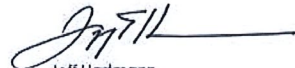
The proposed exterior materials will present the preferred New England style of architecture, with fiber cement shake siding depicted in two colors typically for both buildings, and asphalt shingle roof material for the apartment buildings. The clubhouse which is single-story and accommodates common area functions of fitness, leasing, mail, package pickup, and gathering, will be in a similar architectural style with similar exterior wall materials, but will incorporate standing seam metal roofing.

The clubhouse building, approximately 2,221 square feet, incorporates porches on both of the long sides, one side facing the public street, the other facing more towards the residential apartment community, and will provide a warm and inviting approach, with chairs for gathering and relaxing. The apartment buildings will be considered R-2 occupancy and will be type V-B construction. Wood frame will be the typical framing system for all the structures; structurally they will all be slab on grade with shallow foundations as required. The apartment buildings will be sprinklered and will comply with applicable Connecticut state building code requirements related to fire separations and protection systems, egress, and accessibility.

The site layout will also incorporate trash dumpster enclosures which will have surrounds of similar materials and color, with swing gates at their front.

In conclusion, Elm Tree Partners is prepared to invest a significant amount of capital in the Town of Haddam and become a community partner. We will work diligently to develop a community that will be open and inclusive to residents that will enjoy all the surrounding outdoor activities and lifestyle that Haddam offers.

Respectfully:



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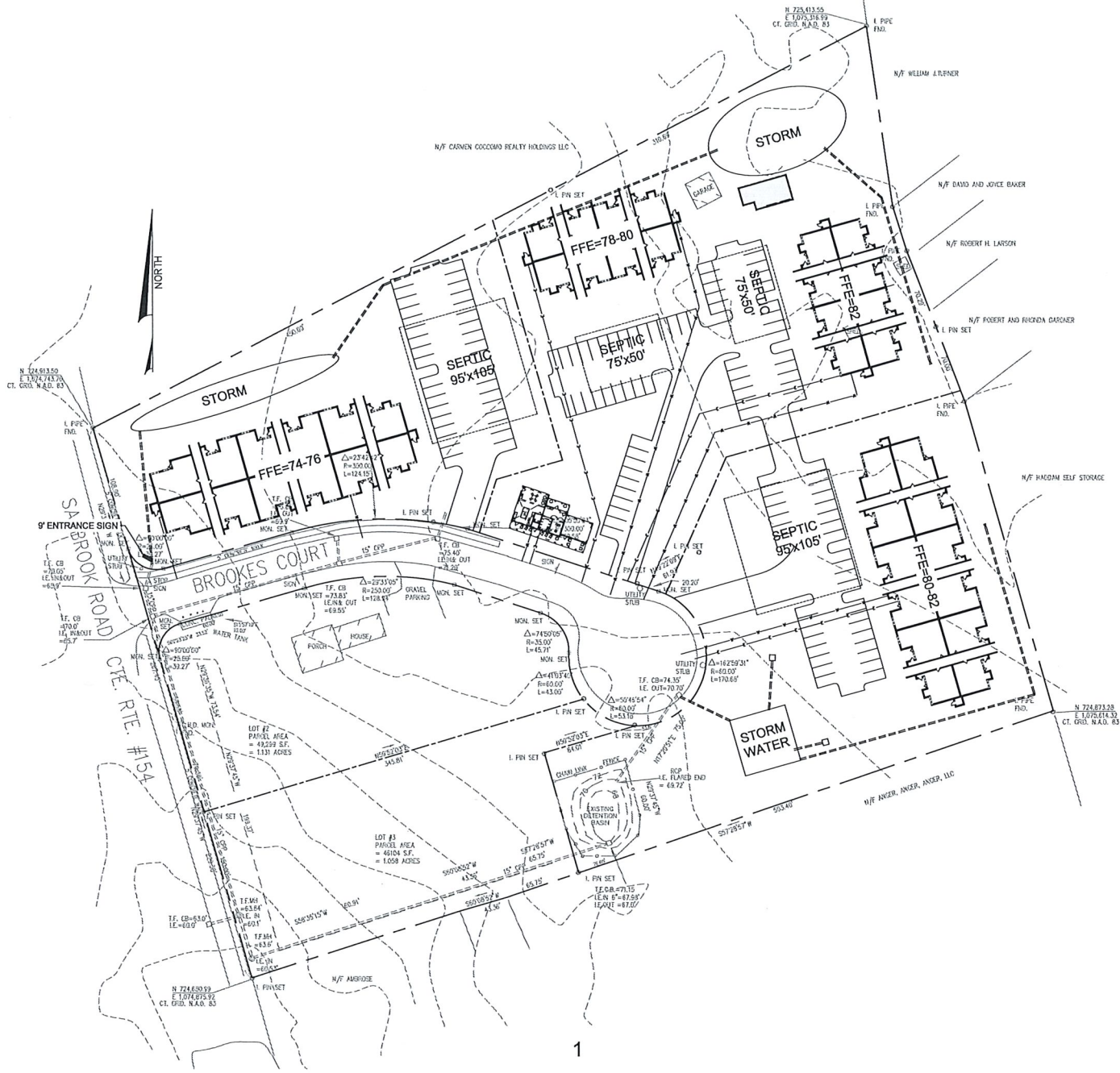
Paul J. Monardo
President
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CODE ANALYSIS - 2020-31 Elm Tree Partners - Haddam, Connecticut

3/23/2021

CODE REFERENCES

- 2018 Connecticut State Building Code
- 2018 Connecticut State Energy Conservation Code
- 2018 Connecticut State Mechanical Code
- 2020 National Electric Code (NEC)
- NFPA 101, Life Safety Code
- Americans with Disabilities Act Guidelines, ADA
- Local Codes & Ordinances, as applicable

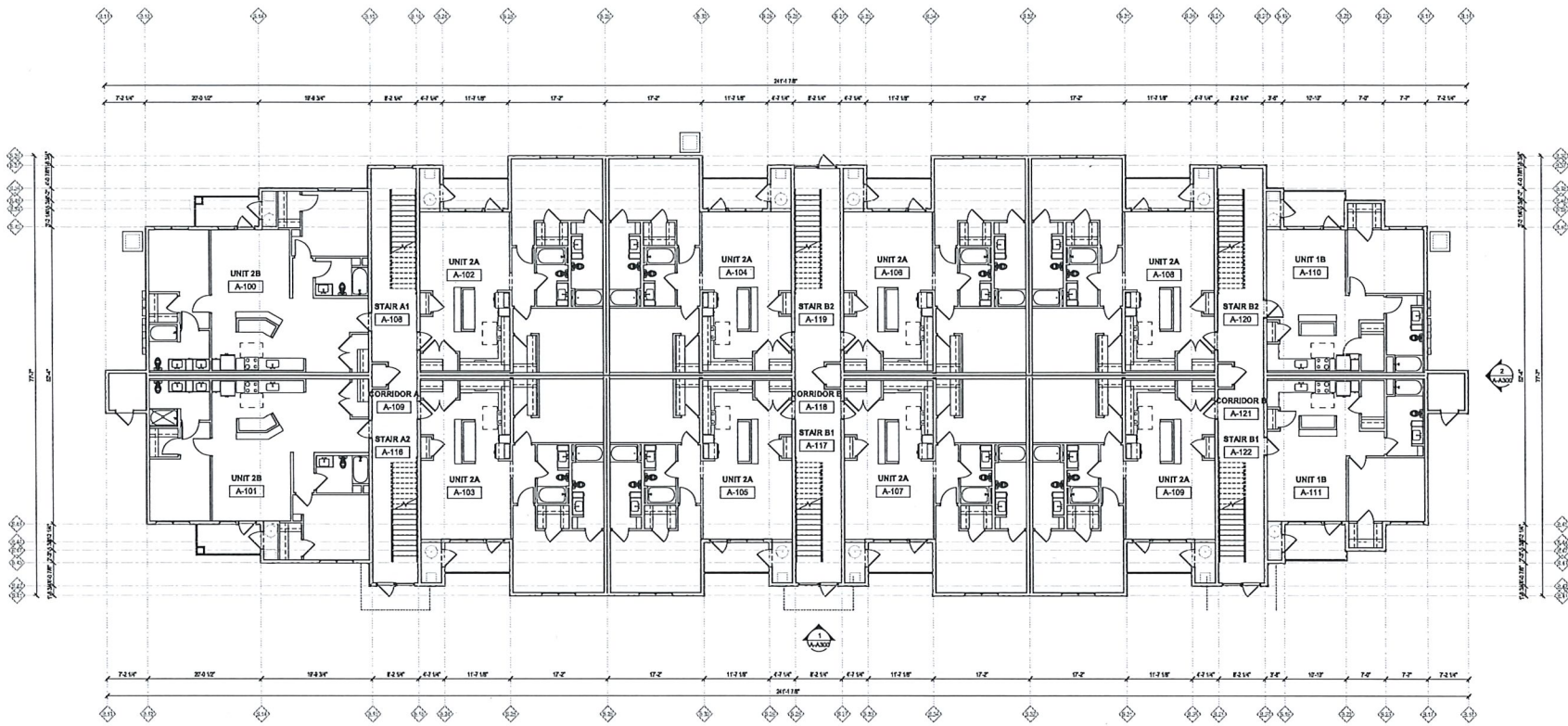
	Building A	Building B	Building C
Construction Type	VA	VA	VB
Occupancy Classification	R2	R2	A-3
Fire Protection System	NFPA 13R	NFPA 13R	Non-Sprinklered
Total Units Per Building	24	16	n/a
Total Buildings on Site	2	2	1
Total Units on Site	48	32	n/a
Gross Floor Area:			
Level 1 Building	14,932 SF	7,618 SF	1,531 SF
Level 1 Balconies	722 SF	443 SF	690 SF (Porches)
Level 1 Total	15,654 SF	8,061 SF	2,221 SF
Level 2 Building	14,840 SF	7,523 SF	n/a
Level 2 Balconies	722 SF	443 SF	n/a
Level 2 Total	15,562 SF	7,966 SF	n/a
Total Building Area	31,216 SF	16,027 SF	2,221 SF
Allowable Building Area Per Floor	12,000 SF	12,000 SF	6,000 SF
Allowable Area Frontage Increase (IBC Section 506.3)	9,000 SF	n/a	n/a
New Allowable Building Area Per Floor	21,000 SF	n/a	n/a
Actual Building Height	26'-3"	25'-6"	19'-9"
Allowable Building Height	35' per zoning	35' per zoning	40' per IBC
Actual Number of Stories	2	2	1
Allowable Number of Stories	4	4	1
Structural Fire Resistance Rating Requirements:			
Structural Frame	1 HOUR	1 HOUR	0 HOURS
Floor	1 HOUR	1 HOUR	0 HOURS
Roof	1 HOUR	1 HOUR	0 HOURS

ELM TREE PARTNERS

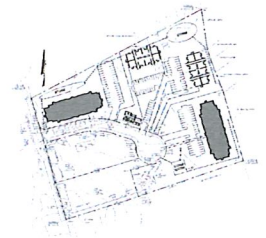
SAYBROOK RD
HADDAM, CONNECTICUT

CODE ANALYSIS
SUMMARY

SHEET



1 A - L.01 - Floor Plan
1/8" = 1'-0"



ELM TREE PARTNERS
 SAYBROOK RD
 HADDAM, CONNECTICUT

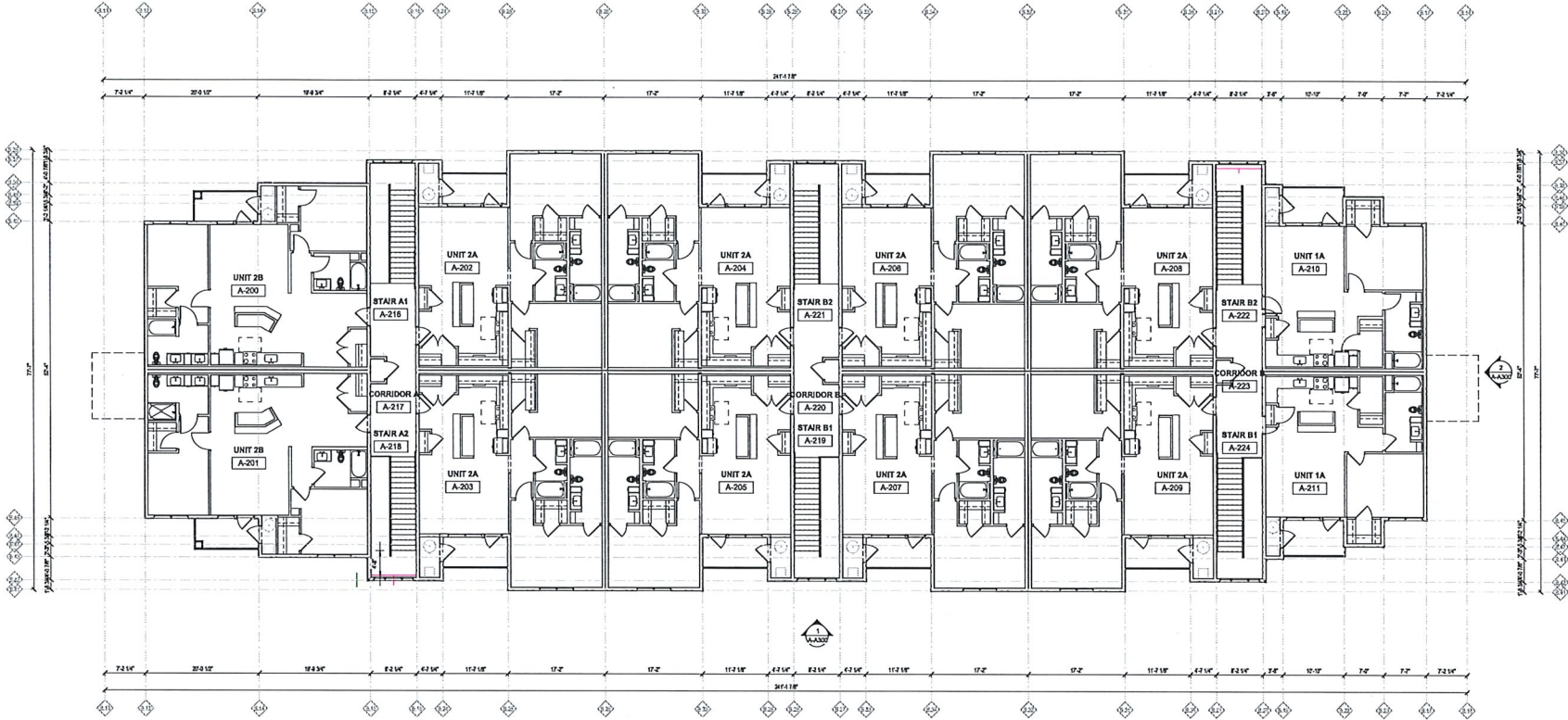
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 FLOOR PLAN

SHEET
 A-A111

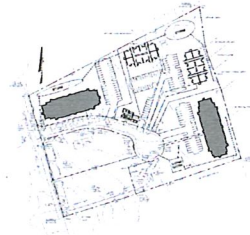
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PROJECT	

gary b. coursey & associates - architects - inc - aia
 architects
 interior design
 planning



1 A - L.02 - Floor Plan
1/8" = 1'-0"



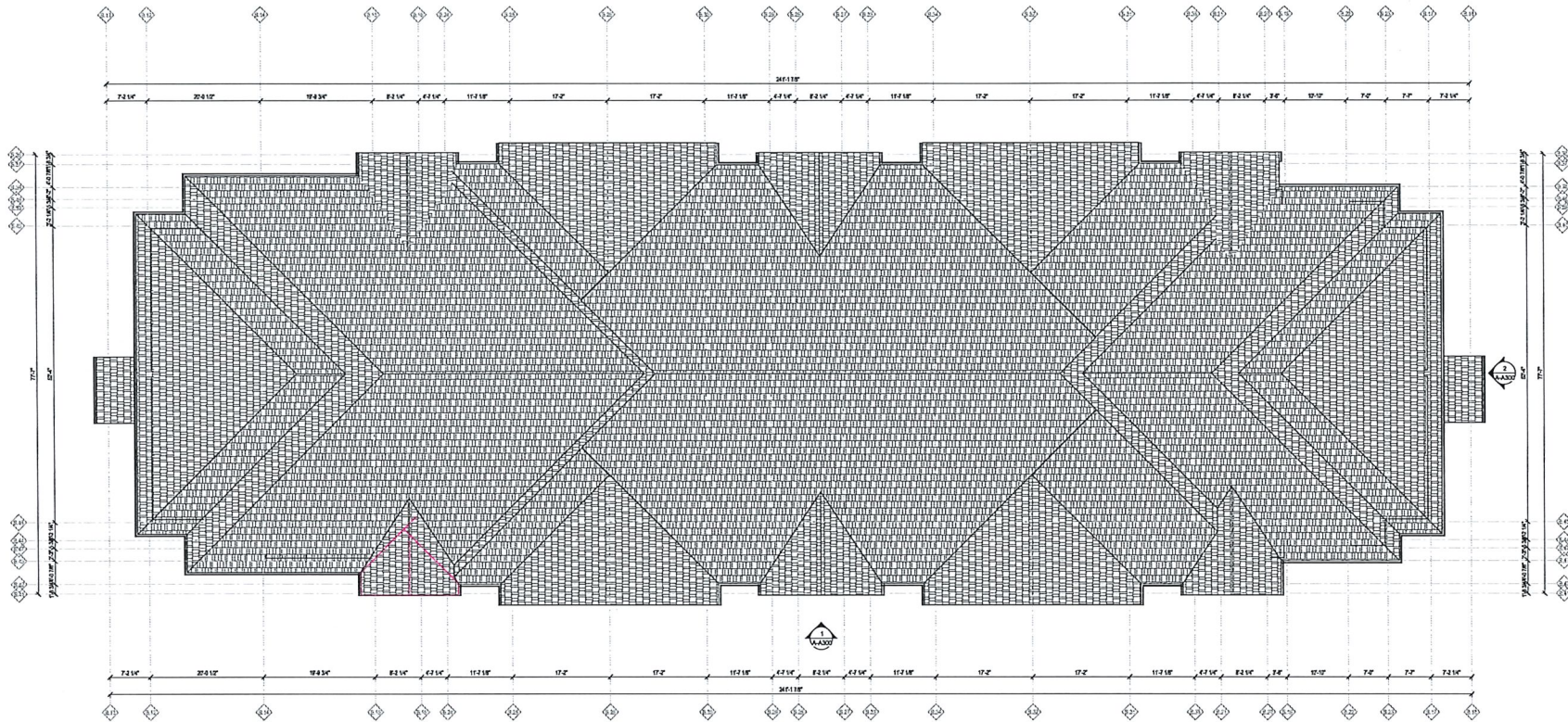
ELM TREE PARTNERS
SAYBROOK RD
HADDAM, CONNECTICUT

BLDG. A - LEVEL 2
FLOOR PLAN

SHEET
A-A112

REV.	DESCRIPTION	DATE

DATE: 07/15/2021
 DRAWN BY: JCB
 CHECKED BY: JCB
 PROJECT NO: 2020-001
 SHEET NO: A-A112



1 - A - L.R.B. - Roof Plan
1/8" = 1'-0"

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HADDAM, CONNECTICUT

BLDG. A - ROOF
PLAN

SHEET
A-A113

DATE	DESCRIPTION

gcbg

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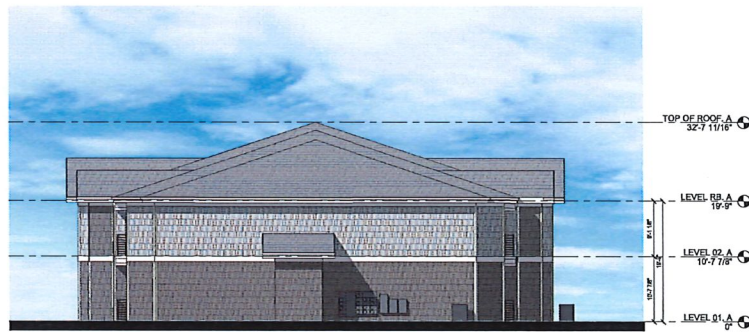
MULTI-MEDIA
MARKETING
PLANNING

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1 BLDG. A - FRONT ELEVATION
1/8" = 1'-0"



2 BLDG. A - SIDE ELEVATION
1/8" = 1'-0"

ELM TREE PARTNERS
SAYBROOK RD
HADDAM, CONNECTICUT

BLDG. A -
ELEVATIONS

SHEET
A-A300

DATE	
DESCRIPTION	
REV	
DESIGNED BY	
CHECKED BY	
DATE	

PROJECT: BLDG. A - ELEVATIONS
COMPILED BY: GBC
DRAWN BY: GBC
DATE: 11/29/2021

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with the
interior
design
group



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2 BUILDING A



4 A - BALCONY



5 A - ENTRANCE



3 A - CORNER BALCONY

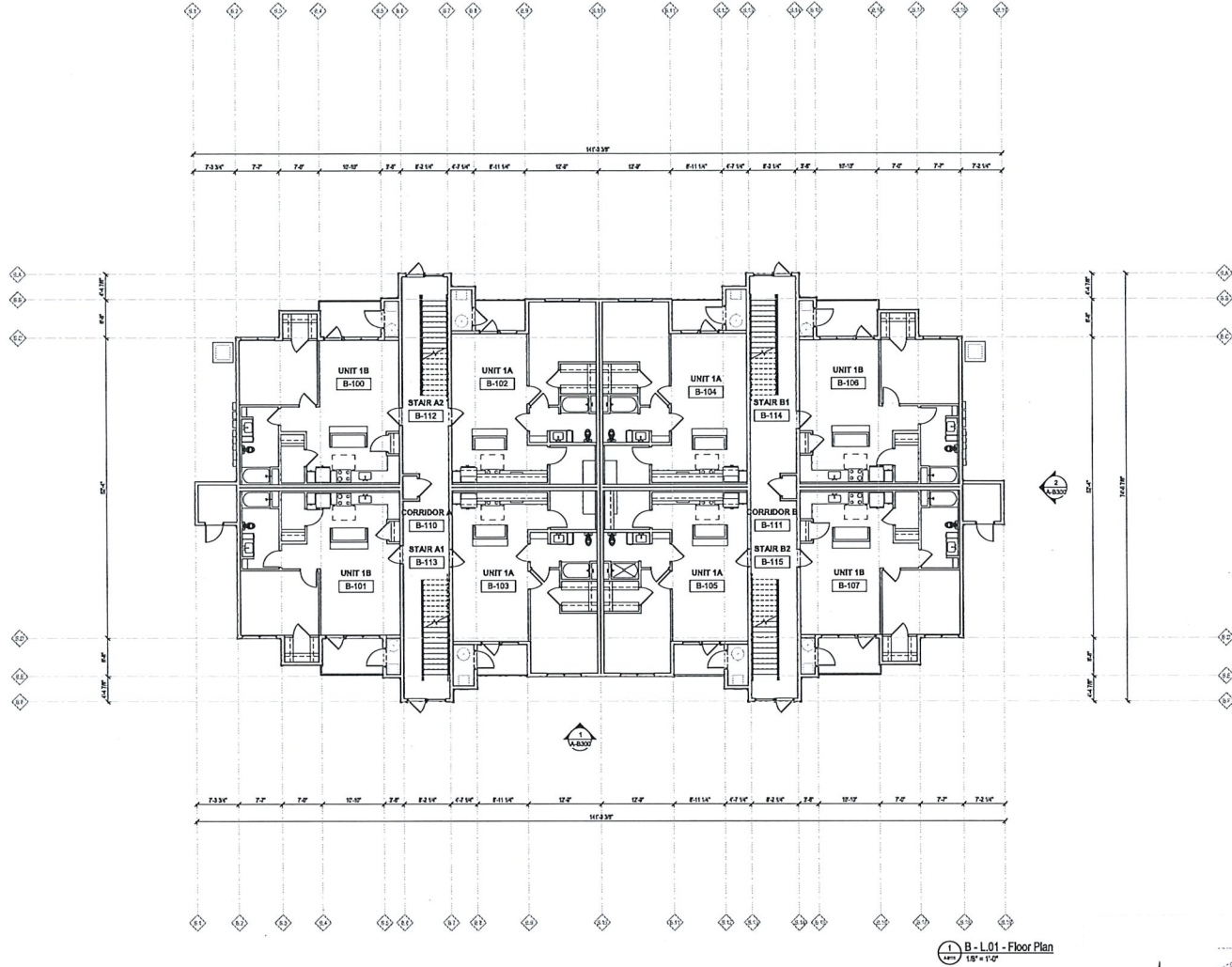
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 PROJECT: [Name]
 SHEET: [Name]

ELM TREE PARTNERS
 SAYBROOK RD
 HADDAM, CONNECTICUT

BLDG. A - PERSPECTIVES

SHEET
 A-A301



1 B-L_01 - Floor Plan
1/8" = 1'-0"



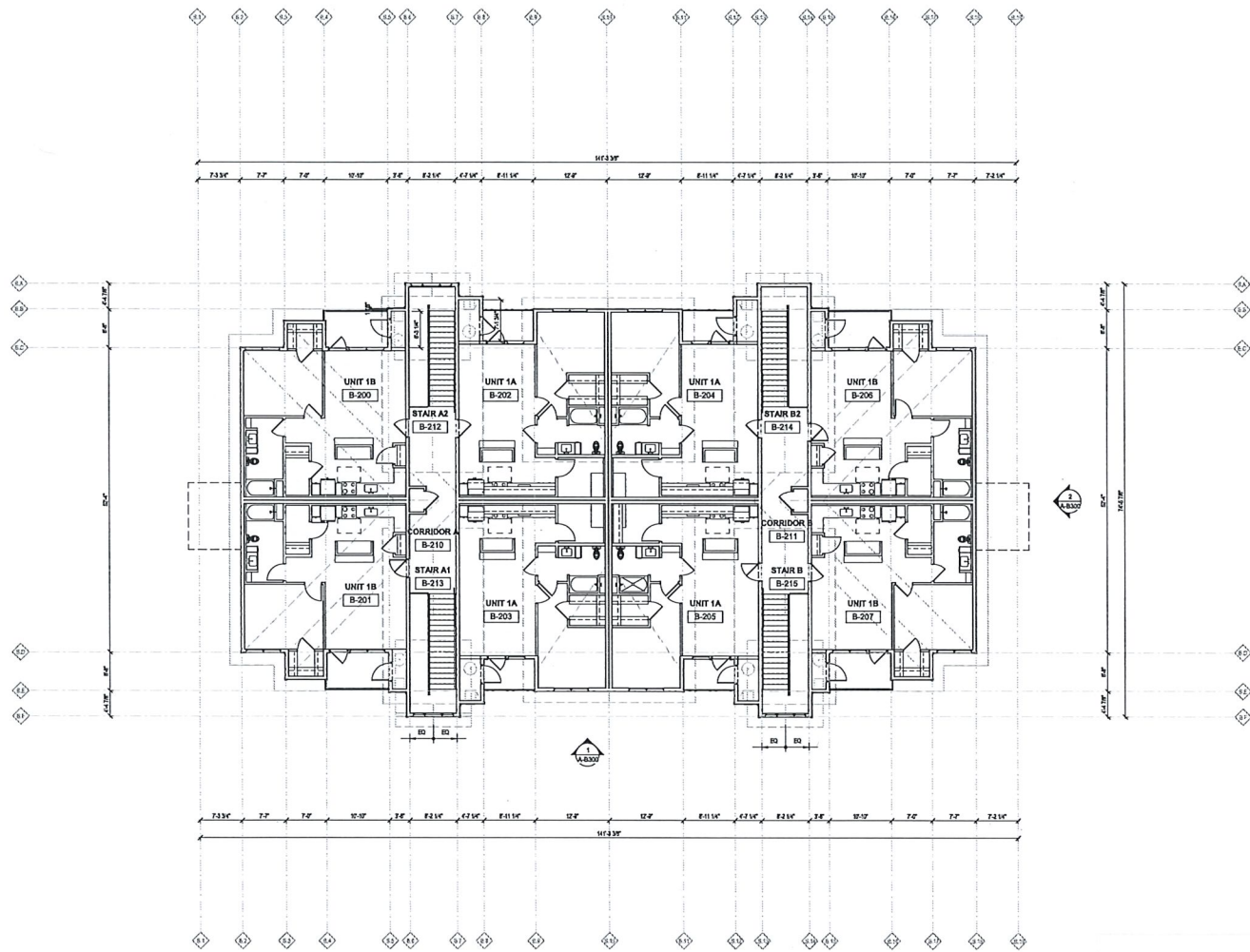
ELM TREE PARTNERS
SAYBROOK RD
HADDAM, CONNECTICUT

**BLDG. B - LEVEL 1
FLOOR PLAN**

DATE	DESCRIPTION	BY	CHECKED BY

DRAWN BY: [blank]
 COMMISSION #:
 DESIGNER BY:
 CHECKED BY:
 DATE: [blank]

PLOTTED: 3/25/2011 4:17:03 PM



1 B - L02 - Floor Plan
1/8" = 1'-0"



ELM TREE PARTNERS
SAYBROOK RD
HADDAM, CONNECTICUT

BLDG. B - LEVEL 2
FLOOR PLAN

SHEET
A-B112

REV	DESCRIPTION	DATE

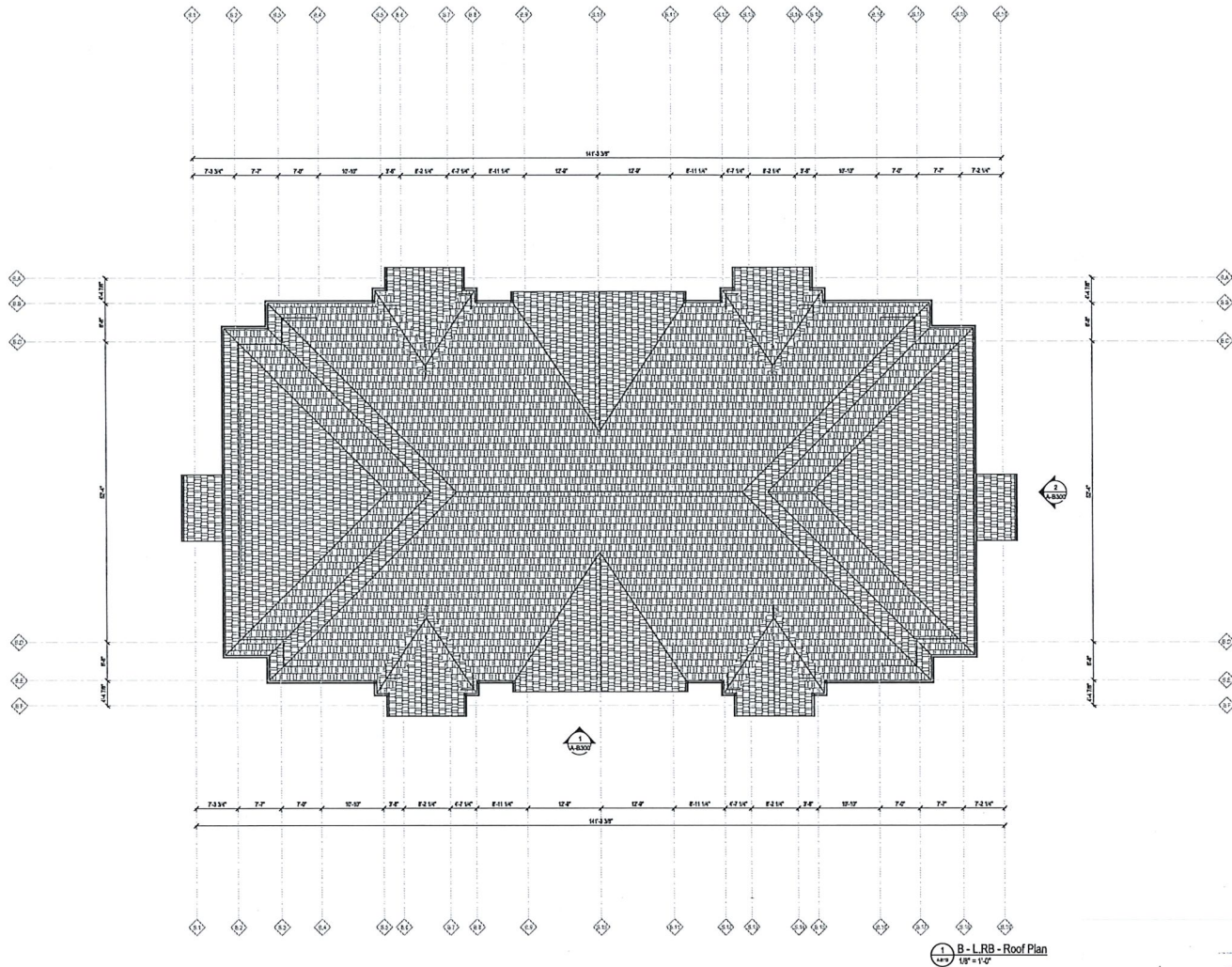
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PROJECT: [blank]
SHEET: [blank]



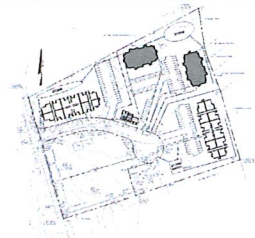
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2118 WEDGEBROOK DRIVE 115
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B - LRB - Roof Plan
1/8" = 1'-0"

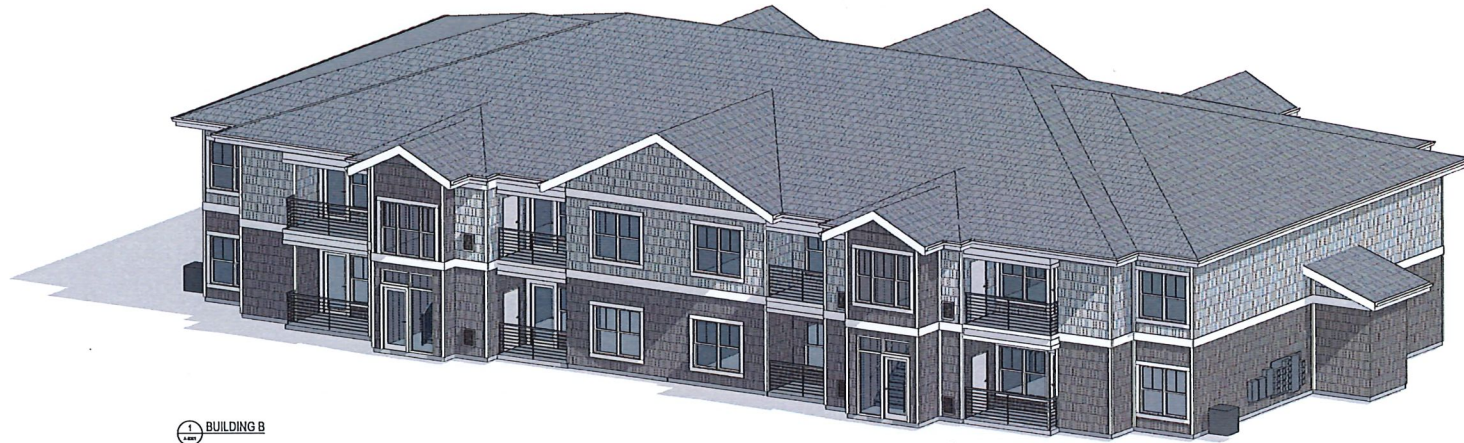


ELM TREE PARTNERS
SAYBROOK RD
HADDAM, CONNECTICUT

BLDG. B - ROOF
PLAN
SHEET
A-B113

REV.	DESCRIPTION	DATE

DESIGN:
COMMISSION #:
DRAWN BY:
CHECKED BY:
DATE:



1 BUILDING B



2 B - BALCONY



3 B - ENTRANCE



4 B - CORNER UNIT

REV	DESCRIPTION	DATE

DATE: 02/2021
 DRAWN BY: GBC
 CHECKED BY: GBC
 SCALE: AS SHOWN
 PROJECT: SAHIB
 SHEET: A-B301
 ARCHITECT: GARY B. COURSEY & ASSOCIATES

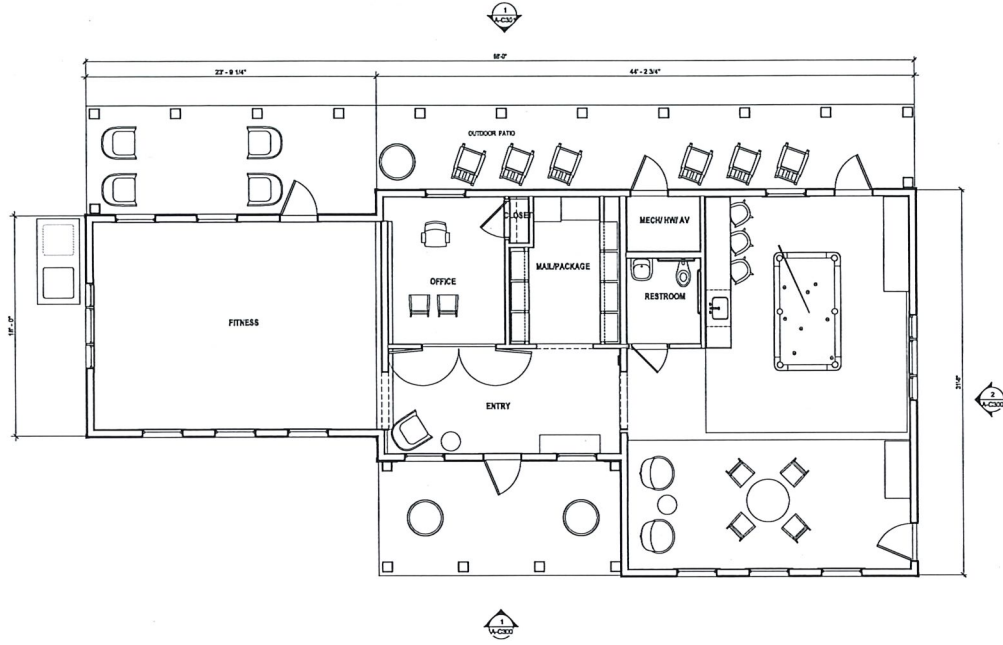
ELM TREE PARTNERS
 SAYBROOK RD
 HADDAM, CONNECTICUT

BLDG. B -
 PERSPECTIVES
 SHEET
 A-B301

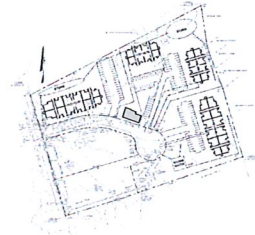
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1 CLUBHOUSE 1,631 SF
1/8" = 1'-0"

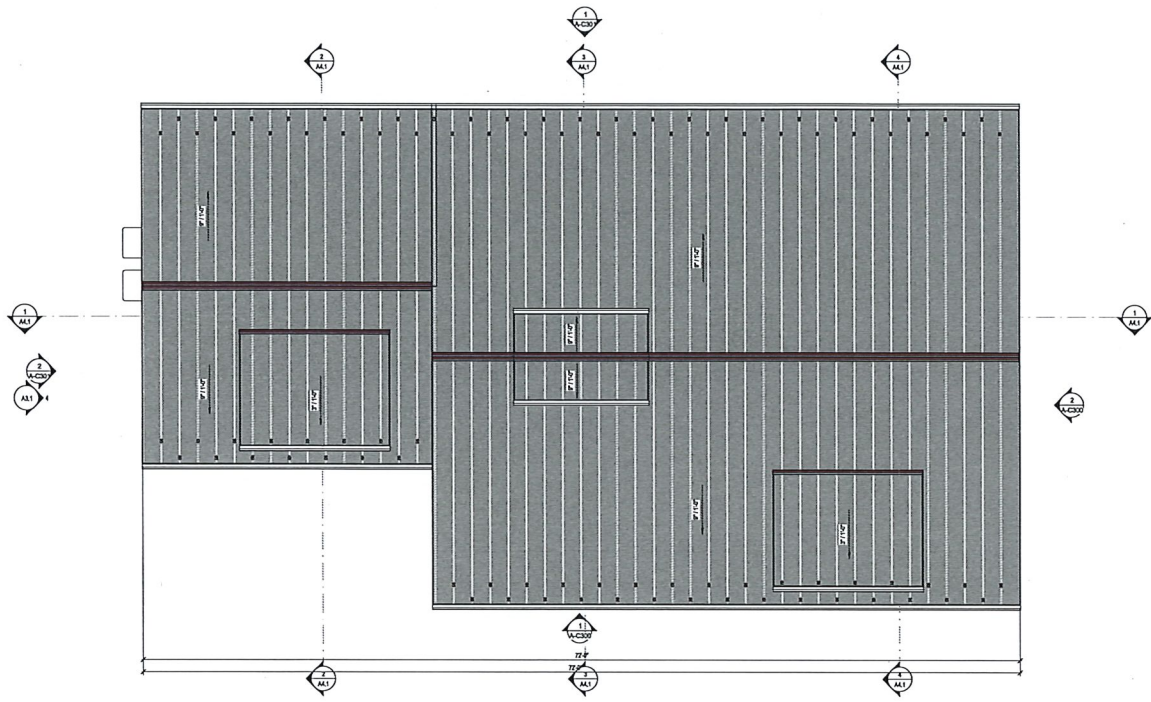


<p>ELM TREE PARTNERS SAYBROOK RD HADDAM, CONNECTICUT</p>		<p>DATE</p>	
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<p>SHEET A-C111</p>		<p>DATE</p>	
<p>DATE</p>		<p>DATE</p>	
<p>DESIGNER</p>		<p>DATE</p>	
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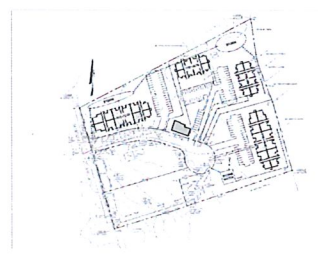
gary b. coursey & associates - architects - inc - aia

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TEL: 413-237-1100
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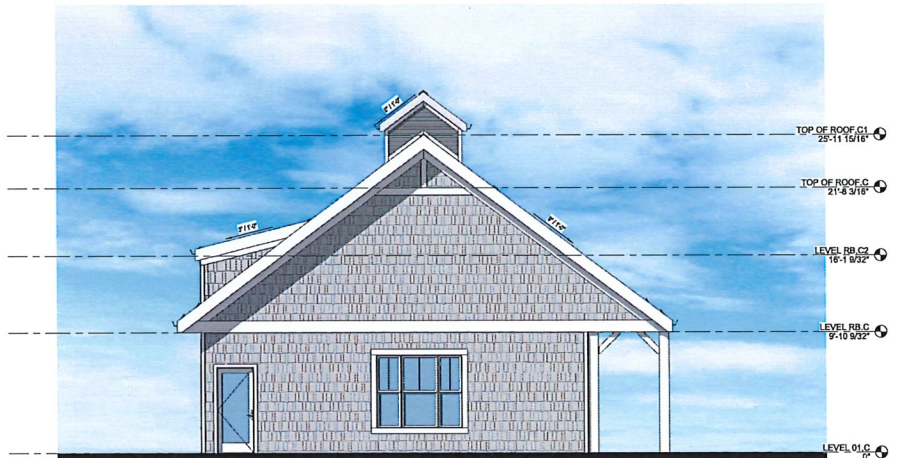
1 CLUBHOUSE ROOF PLAN
1/4" = 1'-0"



SHEET A-C113	BLDG. C - ROOF PLAN	ELM TREE PARTNERS		REV.	DESCRIPTION	DATE
		SAYBROOK RD HADDAM, CONNECTICUT				
BLDG. C - ROOF PLAN SAYBROOK RD HADDAM, CONNECTICUT		GARY B. COURSEY ARCHITECTS - INC. AIA 211 WETHERS LANE, SUITE 113 210-837-6233 www.garybcoursey.com	PROJECT CONTRIBUTION #: DESIGN TYPE: CHECKED BY: DATE:	REV. DESCRIPTION DATE	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100



1 CLUBHOUSE - NORTH ELEVATION
1/4" = 1'-0"



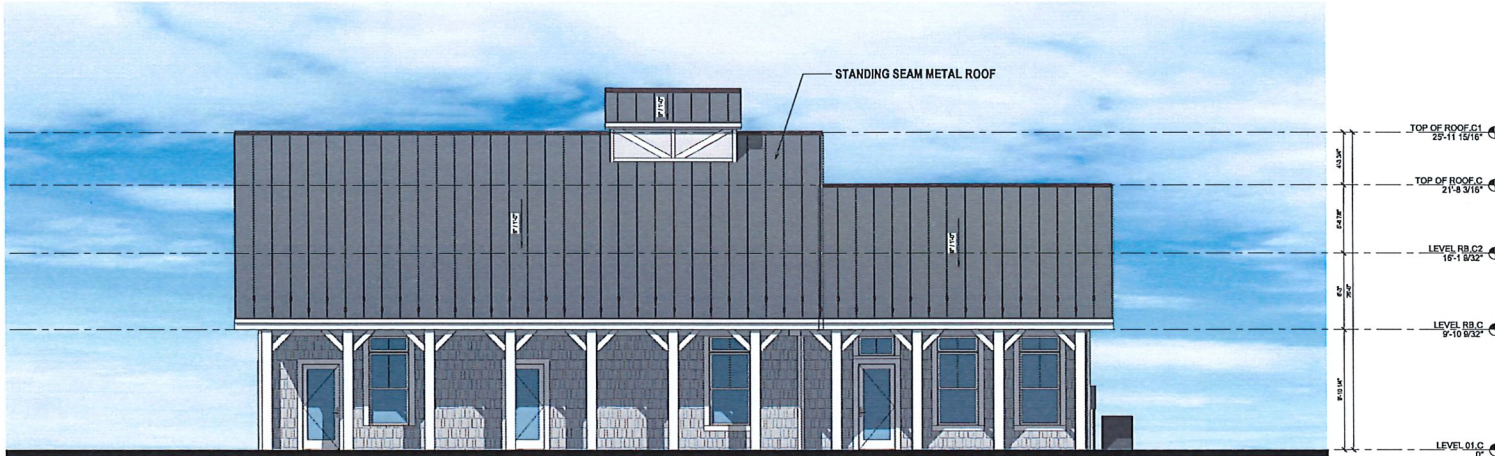
2 CLUBHOUSE - WEST ELEVATION
1/4" = 1'-0"

REV.	DESCRIPTION	DATE

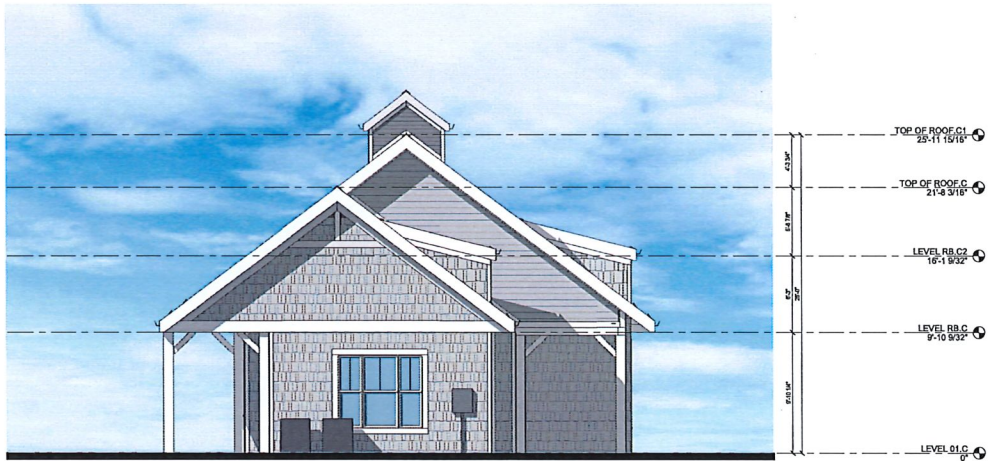
OWNER:
COMMISSION #:
DESIGN BY:
CHECKED BY:

ELM TREE PARTNERS
SAYBROOK RD
HADDAM, CONNECTICUT

BLDG. C - ELEVATIONS
SHEET A-C300



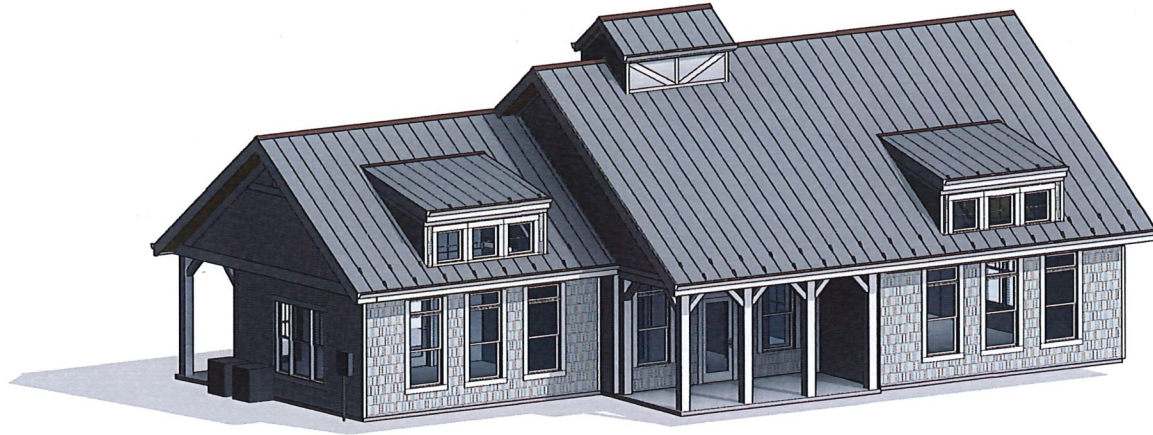
1 CLUBHOUSE - SOUTH ELEVATION
1/4" = 1'-0"



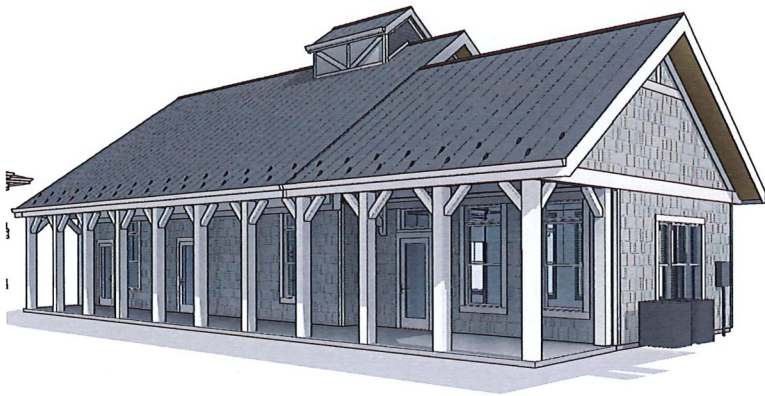
2 CLUBHOUSE - EAST ELEVATION
1/4" = 1'-0"

<p>ELM TREE PARTNERS SAYBROOK RD HADDAM, CONNECTICUT</p>	<p>BLDG. - C - ELEVATIONS</p>	SHEET	A-C301
		PROJECT	
		DATE	
		REV.	
<p>DATE</p> <p>BY</p> <p>DESCRIPTION</p>			
<p>DESIGNED BY: JBC</p> <p>CHECKED BY: JBC</p> <p>DATE: 09/15/2021</p> <p>PROJECT: SAYBROOK RD HADDAM CT</p> <p>CLIENT: ELM TREE PARTNERS</p>			

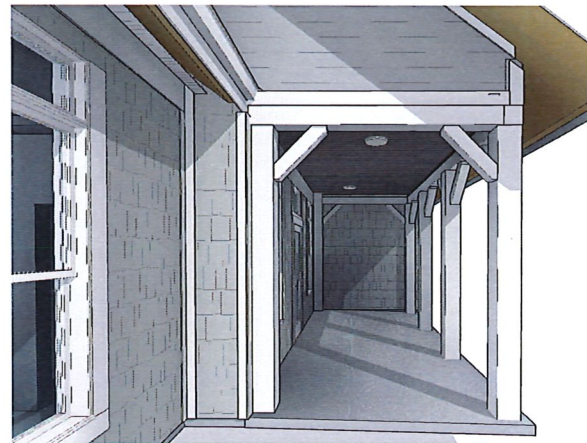
gary b. coursey & associates · architects · inc · aia
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 HADDAM, CT 06423
 860.333.7777
 www.garybcoursey.com
 JBC&A



1 BUILDING C



2 D-30 View 3



3 D-30 View 4

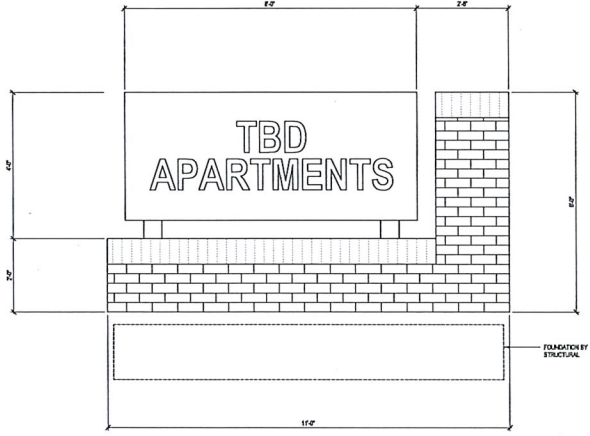
REV.	DESCRIPTION	DATE

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 FAX: 860.770.8328
 WWW.ELMTREEPARTNERS.COM

BLDG. C -
 PERSPECTIVES
 HADDAM, CONNECTICUT

SHEET
 A-C302



1 MONUMENT SIGN
34" x 1'-0"

SHEET
A-002

MONUMENT SIGN

ELM TREE PARTNERS
SAYBROOK RD
HADDAM, CONNECTICUT

NO.	DESCRIPTION	DATE

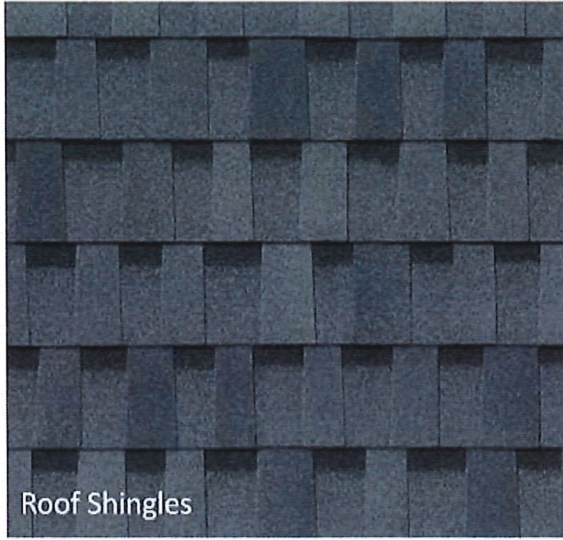
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05/22/2021
COMMISSION #: 19-002503
DRAWN BY: ELM
CHECKED BY: ELM
PROJECT NO: 19-002503
SCALE: AS SHOWN
SHEET NO: 18



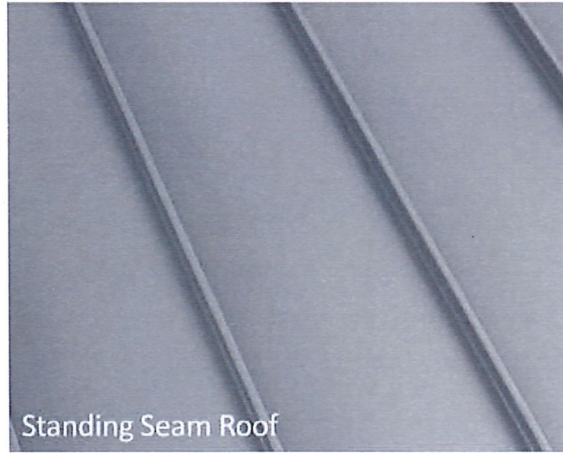
gary b. coursey & associates · architects · inc · aia
multidisciplinary
interior design
planning



3421 WING LANE SUITE 1402
DUBLIN, MA 01930
781.227.7700
WWW.GARYB.COURSEY.COM

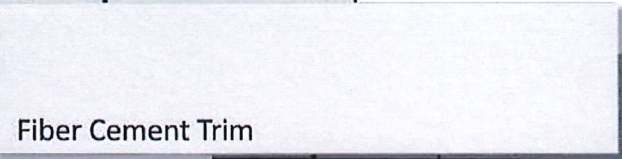
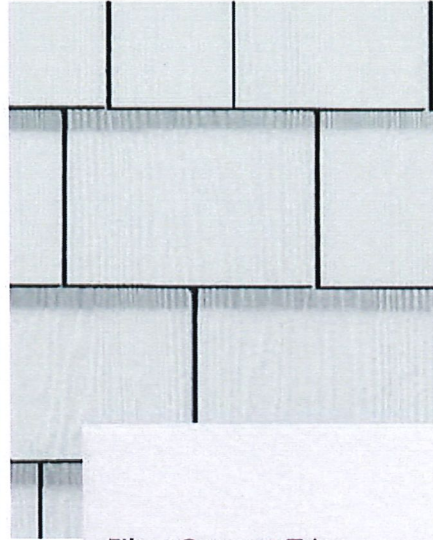


Roof Shingles



Standing Seam Roof

Fiber Cement Wall Shakers



Fiber Cement Trim



Fiber Cement Wall Shakers

SHEET	Preliminary Exterior Materials Board	ELM TREE PARTNERS		DATE
		SAYBROOK RD HADDAM, CONNECTICUT		
CLIENT: PROJECT: DRAWING NO.: DATE:		QUANTITY: UNIT:	PRICE: TOTAL:	DATE:



Evolve[®]
LED Post Top
Avery StreetDreams[®]
(EPAS)



current
powered by GE



REV 09.27.18
THE ORIGINAL™ WAREHOUSE GOOSENECK LIGHT
 BATH LIGHT QUICK SHIP COLLECTION
 Max Weight: 12.0 lbs

PROJECT NAME _____
 PROJECT TYPE _____

SPS-0325

BLE - QS - G - [WHS16] - [100] - [G22] - [NA]

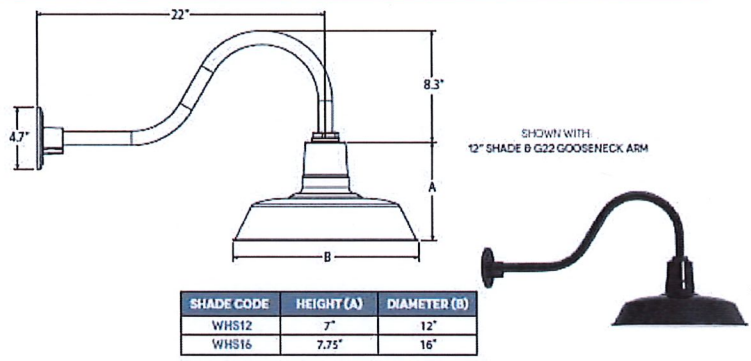
A B C D

Order Example: BLE - QS - G - WHS16 - 100 - G15 - WC

A - SHADE SIZE	B - FINISHES	C - GOOSENECK ARMS	D - WIRE CAGE
WHS12 12" Original™ Shade WHS16 16" Original™ Shade	POWDER COAT FINISHES: 100 Black 200 White 300 Dark Green 975 Galvanized	GOOSENECK OPTIONS: G1 G15 G22 G26	NA Note/No Wire Cage WC Wire Cage

IMPORTANT: (1) All Powder Coat finished shades, Galvanized excluded, feature a white interior (2) If selected, wire cage finish will match selection in Section B

DIMENSIONAL DRAWING



LIGHT SOURCE

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. To obtain an IES file specific to your project, please contact the factory.

OPTION	WATTAGE	LUMENS	CRI	VOLTAGE	DIMMING
INCANDESCENT (MED E26)					
E26	200W Max	*3000 <small>*Avg. value, actual value dependent on bulb used</small>	*100	120 VAC	Bulb Dependant

BARN LIGHT U.S.A

REV 09-27-14 THE ORIGINAL™ WAREHOUSE GOOSENECK LIGHT BARN LIGHT QUICKSHIP COLLECTION

SPECIFICATIONS

CERTIFICATIONS, LISTINGS & WARRANTY

MADE IN THE USA
Manufactured and Hand-Crafted in Our 60,000 Square Foot Facility
Located in Titusville, FL

CSA LISTED FOR WET LOCATIONS

LIMITED WARRANTY
For Additional Information on Our Limited Warranty, Please See
Our Terms & Conditions

DESIGN

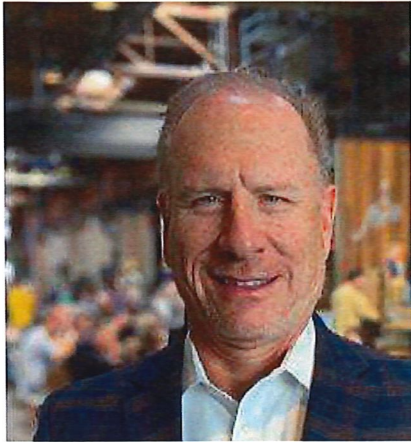
ORIGINAL™ WAREHOUSE SHADE
Hand-Spun from High Purity 0.050" Thick 3003-O Temper
Aluminum

POWDER COAT FINISHES
Polyester Powder Coat Finishes Are Electro-Statically Applied and
Thermocured

GOOSENECK
1/2" Nominal (0.84" Actual) or 3/4" Nominal (1.05" Actual) Sch 40,
6063 Aluminum Gooseneck



ELM TREE PARTNERS



JEFF HARTMANN

FOUNDER AND PRESIDENT

Jeff Hartmann is the co-founding member and serves as President of Elm Tree Partners, LLC (“ETP”), a private real estate company. In this capacity, he develops, implements, and oversees ETP’s development strategy as well as all capital markets activities.

With more than two decades in CFO, COO and CEO capacities, Jeff Hartmann has played a crucial role in the creation and development of the hospitality industry. His career spans the landmark casinos of Foxwoods and Mohegan Sun in Connecticut, and Mohegan Sun at Pocono Downs in Pennsylvania. Clients have benefited from his breadth of experience and expertise, including understanding the risks and opportunities in real estate, real estate due diligence including financial modeling, following the use and selection of cap rates, proforma development analysis, development feasibility analysis, ground leases, working with REITs and Private Equity Funds.

Jeff has addressed wildly divergent opportunities along the way. From acquiring the WNBA Connecticut Sun franchise for the Mohegan Sun to leading the Mohegan Sun Executive team in developing the property master plan as well as developing a mixed-use entertainment zone at Harrah’s Cherokee Casino in North Carolina.

Jeff has worked closely with major Wall Street firms including Goldman Sachs, Citibank, Wells Fargo and Bank of America. As Chief Financial Officer of the Mohegan Tribal Gaming Authority, he played a pivotal role in securing \$4-billion in public and private financing, including the only \$1-billion syndicated bank credit facility for a Native American tribe.

Since founding Elm Tree Partners in 2020, Jeff Hartmann has served as President of the firm, which specializes in multi-family, mixed-use real estate and hospitality projects. Today, Jeff and his associates at the Elm Tree are creating next-generation multi-family developments that reflect the shifts in residential and lifestyle design.

It may come in the form of consulting for property owners, advising on real estate financing or mixed-use real estate profitability. That next challenge may turn on 30+ years of financial acumen, or the insights garnered from working with elite finance, hospitality, and real estate professionals.

Jeff began his career as a Certified Public Accountant with PricewaterhouseCoopers, LLP, working from 1984 to 1991 in the Philadelphia and New York offices as a specialist in real estate and casinos.

He earned his Bachelor of Arts from Rutgers University and earned a Certificate in Real Estate Development from New York University Schack Institute of Real Estate. Jeff maintains Key Gaming licenses in New Jersey, Connecticut, and Pennsylvania.

He currently serves as the Chairman of the Board for Read to Grow, a literacy-based charity located in New Haven, Connecticut. Jeff also volunteers his time to help on the Board of Directors for the Connecticut Sports Foundation Against Cancer and Fans 4 the Cure. Jeff is married with four children and lives in Connecticut.

ELM TREE PARTNERS



SHANG-CHI (GREG) LIU

DIRECTOR OF FINANCE

Greg Liu is the Director of Finance at Elm Tree Partners, LLC (“ETP”). He now oversees multifamily acquisitions and development opportunities and provides strategic solutions to improve investment performance. This includes financial modeling, market data collecting and filtering, deal sourcing, due diligence, capital analysis, valuation and overall feasibility studies. Greg’s real estate career benefits from its broadness and depth. In the past 5 years, he has worked in the architectural, development and finance sectors in Thailand, Taiwan and the US.

Greg holds a Master’s degree in Real Estate Finance with a concentration in Finance & Investment from Cornell University. Prior to his position at Elm Tree Partners, he has experience in development and asset management with retail and multifamily developers in Taiwan and the United States. During his time there, Greg’s main role was to underwrite development projects and optimize the position of the products. In terms of asset management, his goal was to maximize the income and value of the properties and analyze the financial statement of the assets against the budget, working alongside property managers to implement strategies.

Greg also holds a Bachelor’s degree in Urban Planning & Policy. Equipped with a background in real estate and urban planning, Greg plans to marry his financial knowledge in real estate and competencies in urban planning to build comprehensive expertise in development at his current role. This will allow him to oversee projects from various perspectives and introduce versatility and vitality to projects.

Beyond his career, Greg is a tennis lover. Also, in his spare time, he enjoys creating art and sketch pieces. He is also actively expanding his knowledge of data science in real estate with online courses and certifications.

ARCHITECTS



Gary Coursey & Associates

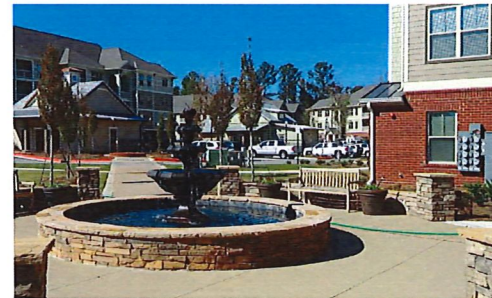
We are an innovative firm strongly committed to the belief that all architecture enriches the daily life. We feel that a successful project begins with a team effort between the client and architect. Using this “team approach” enables us to address from the beginning the practical, creative and financially feasible solutions for a successful project. We have a strong project organization and hands-on participation of our firm principles. The buildings we design vary in expression to reflect a particular response to each client’s unique needs, site conditions and climate, yet they are all the result of a consistent design methodology. Our highest accolade are our clients to whom we have delivered successful projects and continue to return to us for design services.



Essex Station Apartment, Essex CT



22 Miner Ln, Waterford, CT



Avonlea Creekside, Kennesaw GA



One White Oak, Cumming GA

Source: <https://www.courseyarchitects.com/>